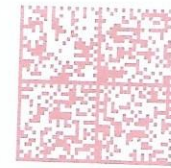




Department of City Planning
 P.O. Box 6069
 Sherman Oaks, CA 91413

**RETURN SERVICE
 REQUESTED**

PRESORTED
 FIRST CLASS

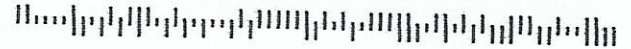


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CPC-21-9909/4.25
 SUNLAND-TUJUNGA NEIGHBORHOOD COUNCIL
 PO BOX 635
 TUJUNGA CA 91043

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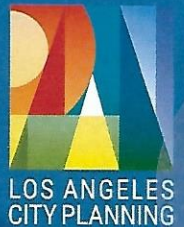


Notice of Public Hearing

Aviso de Audiencia Pública • 公開聽證會通知
 공청회통지 • Abiso ng Pagdinig sa Publiko
 Հանրային լսումների մասին ծանուցագիր



Traducción
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TUESDAY, APRIL 25, 2023

2:00 P.M.

Density Bonus residential building
 with 46 dwelling units including 15
 percent set aside for Very Low
 Income households.

Project Located at:

7577 West Foothill Boulevard

Hearing Conducted by:

Hearing Officer

In conformity with the Governor's Executive Order N-29-20 (3/17/20) and as a result of COVID-19, this public hearing will be conducted telephonically and will allow for remote public comment.

Options to Participate:

By phone: (213) 338-8477 or (669) 900-9128
 When prompted, enter the Meeting ID: 834 0437 5061 #

With a PC, MAC, iPad, iPhone, or Android, click on this URL:
<https://planning-lacity-org.zoom.us/j/83404375061>
 Enter Meeting ID: 83404375061 and Passcode: 037868

You will be auto-muted when entering the meeting. To comment on an agenda item, click the raise hand icon (Webinar) or press *9 (Phone) to "raise your hand" virtually following staff calling the item.

The meeting's agenda will be provided no later than 72 hours before the meeting at planning4la.org/hearings. Please note that virtual meeting instructions will be provided on the meeting agenda.

Actions Requested by the Applicant

Acciones Solicitadas por el Solicitante • 신청인이요청한실행사항 • 申請人所要求的事項

Mga Pagkilos na Hiniling ng Aplikante • Դիմումատուի կողմից պահանջվող գործողություններ

On behalf of the City Planning Commission, the Hearing Officer shall consider:

1. An Exemption from CEQA, pursuant to State CEQA Guidelines Section 15332, Class 32, that there is no substantial evidence demonstrating that an exception to the categorical exemption pursuant to State CEQA Guidelines Section 15300.2, applies;
2. Pursuant to Los Angeles Municipal Code (LAMC) Section 12.22-A,25, a Density Bonus for a Housing Development with a total of 46 units with 15% set aside for Very Low Income Households; and pursuant to LAMC Section 12.22-A,25(f)(8) and 12.22-A,25(g)(3), one (1) On-Menu Incentive, two (2) Off-Menu Incentives and one (1) waiver or modification of a development standard:
 - a. An On-Menu Incentive to permit averaging of floor area, density, parking, open space, and permitting vehicular access throughout the project site, pursuant to LAMC Section 12.22.A,25(f)(8);
 - b. An Off-Menu Incentive pursuant to LAMC Section 12.22.A,25(g)(3), to permit a maximum height of 42 feet in lieu of the otherwise permitted 33 feet pursuant to Section 7.B.3 of the Foothill Boulevard Corridor Specific Plan;
 - c. An Off-Menu Incentive pursuant to LAMC Section 12.22.A,25(g)(3) to permit a reduction in the required setback along Foothill Boulevard to allow 10 feet in lieu of the otherwise required 15 feet; and
 - d. A waiver or modification of a development standard to permit reduced building separation of 13 feet in lieu of the otherwise required 54 feet, pursuant to Section 7.B.5 of the Foothill Boulevard Corridor Specific Plan;
3. Pursuant to LAMC Section 11.5.7 C, Project Permit Compliance Review for a project within the Foothill Boulevard Corridor Specific Plan.



Case Information

Información del caso • 케이스 정보 • 案例資訊 • Impormasyon sa Kaso • Տեղեկություններ գործի վերաբերյալ

Case Number(s):

CPC-2021-9909-DB-SP-SPP-HCA

Overlay(s):

Foothill Boulevard Corridor Specific Plan

Related Case Number(s):

None

Environmental Case Number(s):

ENV-2021-9910-CE

Zone:

CR-1VL; RD2-1; C2-1

Community Plan Area:

Sunland - Tujunga - Lake View Terrace -
Shadow Hills - East La Tuna Canyon

Land Use Designation:

Limited Commercial; Low Medium II
Residential; General Commercial

Council District:

7 - Monica Rodriguez

Assigned Staff Contact Information:

Michelle Carter, City Planning Associate
michelle.carter@lacity.org
(213)978-1262
200 N. Spring St., Room 763
Los Angeles, CA 90012

Applicant:

7577 Foothill LLC

Representative:

Edgar Khalatian, Mayer Brown LLP

Who's Receiving This Notice

Quién recibe este aviso • 본통지를받은사람들 • 誰會收到此通知

Sino ang Tumatanggap ng Paunawang Ito • Սույն ծանուցագիրը ստացող կողմը

You are receiving this notice either because you live on or own property that is on a site within 500 feet of where a project application has been filed with the Department of City Planning, or because you requested to be added to the interested parties list. You are invited to attend this hearing to learn more about the proposed project and offer feedback. If unable to attend, you may contact the planner to provide written comment, obtain additional information, and/or review the project file.

General Information - Visit our website at planning4la.org/hearings for general information about public hearings and the exhaustion of administrative remedies.

Accommodations - As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability.

To request a reasonable accommodation, such as translation or interpretation, please email and/or call the assigned planner or email per.planning@lacity.org a minimum of 3 days (72 hours) prior to the public hearing. Be sure to identify the language you need English to be translated into and indicate if the request is for oral interpretation or written translation services. If translation of a written document is requested, please include the document to be translated as an attachment to your email.

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☎ 311 • Traducción • 번역 • 翻译 • Pagsasalin • Թարգմանություն



Project Address

7577 West Foothill Boulevard

Sitio de Proyecto

프로젝트 주소 • 項目地址

Address ng Proyekto

ծրագրի Հասցե

Proposed Project

Proyecto Propuesto

프로젝트 제안 • 擬議項目

Iminungkahing Proyekto

Առաջարկվող ծրագիր

The proposed project involves the construction of a three-story 67,822 square foot residential building with 46 residential dwelling units, including 15 percent set aside as Very-Low Income units and a proposed height of 42 feet. The project includes 89 vehicular parking spaces, 85 parking spaces in the basement parking level and four (4) parking spaces in a rear outdoor surface parking area. The project would provide approximately 8,362 square feet of open space including an outdoor plaza on the ground floor, a roof deck, and approximately 46 private balconies.